

STORMWATER PERMIT APPLICATION

A person proposing construction of any structure or improvement on their property which will impact stormwater runoff from their property is required to comply with the Jacobus Borough Stormwater Management Ordinance. The Applicant shall complete Section A of this application and submit it to Jacobus Borough to allow Jacobus Borough to determine what Stormwater Management Site Plan (SWM Site Plan) requirements apply to the project.

SECTION A:

Property Owner Name: _____

Address of Property: _____

Owner Phone Number: _____

Property Area (acres): _____

Brief Description of Project (include dimensions and attach sketch):

New impervious area created by this project (sq ft): _____

Has any impervious area been added to the property since February 6, 2013? (Y/N) _____

If yes, please list the project(s), area(s) and date(s) installed: _____

Acknowledgement:

1. I declare I am the property owner and the information provided is true and accurate to the best of my knowledge.
2. I understand that stormwater runoff from my property is not permitted to adversely affect adjacent properties.
3. The Jacobus Borough Engineer and/or the Borough or its designee, upon presentation of proper identification, are hereby granted access to the property for review and/or inspection of the property, if necessary.
4. I understand that if an exemption to the SWM Site Plan preparation is granted by Jacobus Borough, I am solely responsible for compliance with stormwater rate and volume controls as required by ordinances and statutes and do hereby hold harmless Jacobus Borough in granting the exemption.
5. I understand that Jacobus Borough may deny or revoke any exemption at any time if Jacobus Borough determines there is a threat to public health, safety, property or the environment.

Print Name

Date

Signature

Within five (5) business days of receipt of this completed application fee (including any applicable fees), Jacobus Borough or its designee will review the information provided and contact the property owner to inform them of what SWM Site Plan requirements apply to the project. Jacobus Borough will utilize the following steps in making their determination:

Step 1:

If the total new impervious area (cumulative since February 6, 2013) is 100 square feet or less, the project shall be exempt from the SWM Site Plan preparation requirements, volume control, peak rate control and Municipal review and approval, provided the activity does not adversely affect adjoining properties or cause erosion.

Step 2:

If the total new impervious area (cumulative since February 6, 2013) is, per Table 1, below, the project shall be exempt from the SWM Site Plan preparation requirements unless Jacobus Borough or its designee determines that there is a reasonable likelihood the proposed activity will have an adverse impact on adjoining properties or cause erosion. If an exemption is granted, the requirements for meeting rate and volume controls must still be met. A list of Stormwater Best Management Practices (BMP's) and Sample Drawings that may be utilized to meet the required controls is included in this application. It is the property owner's responsibility to select, design and install appropriate BMP's that meet the requirements of the Jacobus Borough Stormwater Management Ordinance. Additional BMP's and guidance can be found in

the Pennsylvania Stormwater BMP Manual available at DEP's website (www.depweb.state.pa.us).

Step 3:

If an exemption is not granted as outlined in Step 2 or if the total new impervious area (cumulative since February 6, 2013) is greater than that in Table 1, the project may qualify for submission of a Simplified SWM Site Plan per section 401.D of the Jacobus Borough Stormwater Management Ordinance. The Jacobus Borough Engineer and/or the Borough or its designee shall determine if a Simplified SWM Site Plan may be submitted for the project.

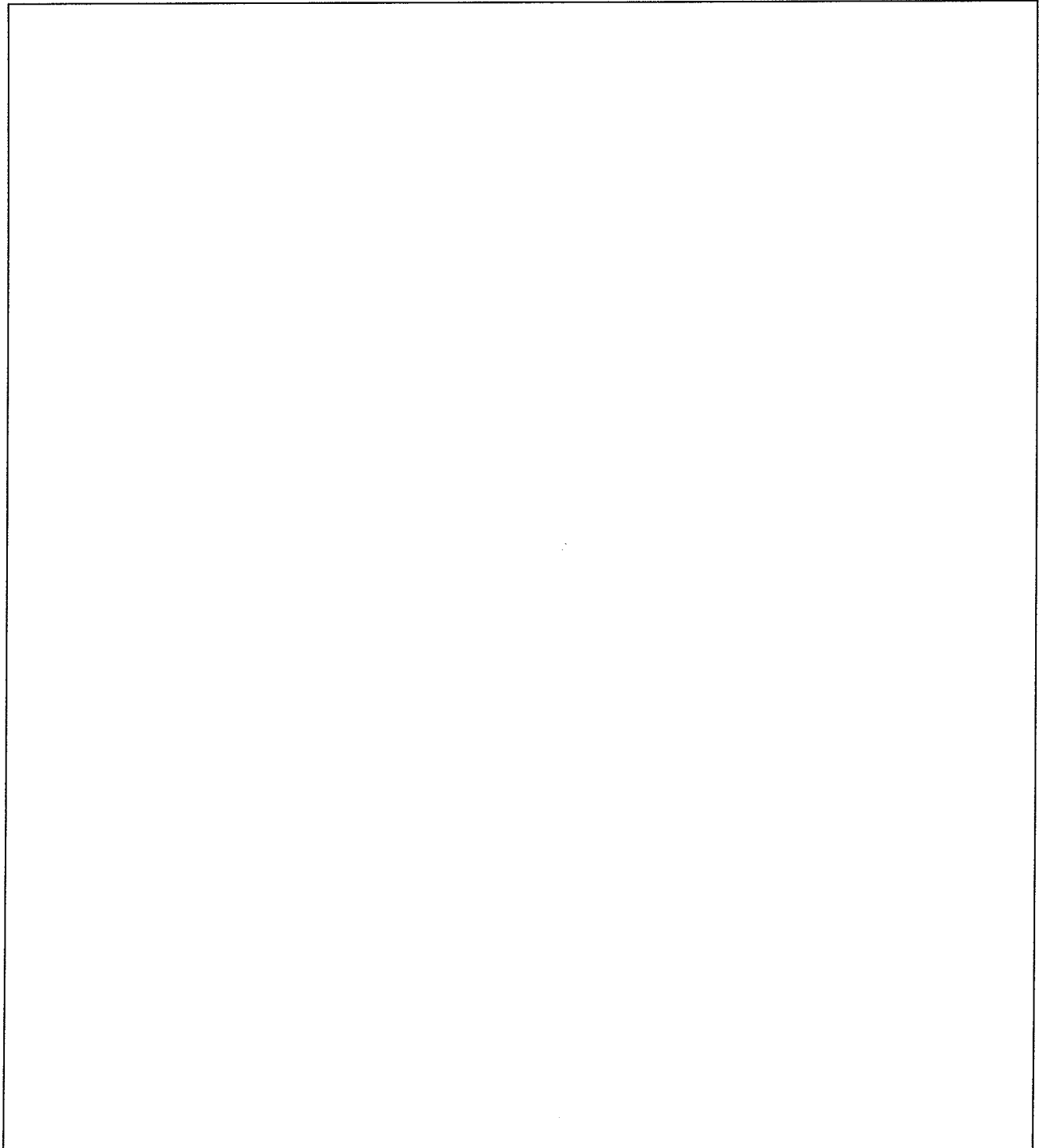
Existing Lot Size	Maximum New Impervious Area (cumulative since February 6, 2013)
0 to 0.25 acres	250 square feet
Greater than 0.25 to 0.50 acres	500 square feet
Greater than 0.50 to 0.75 acres	750 square feet
Greater Than 0.75 acres	1000 square feet

TABLE 1

Step 4:

If an exemption or Simplified SWM Site Plan as outlined in steps 2 and 3 are not granted, a full SWM Site Plan, in accordance with the Jacobus Borough Stormwater Management Ordinance, shall be submitted.

SKETCH OF PROPOSED PROJECT



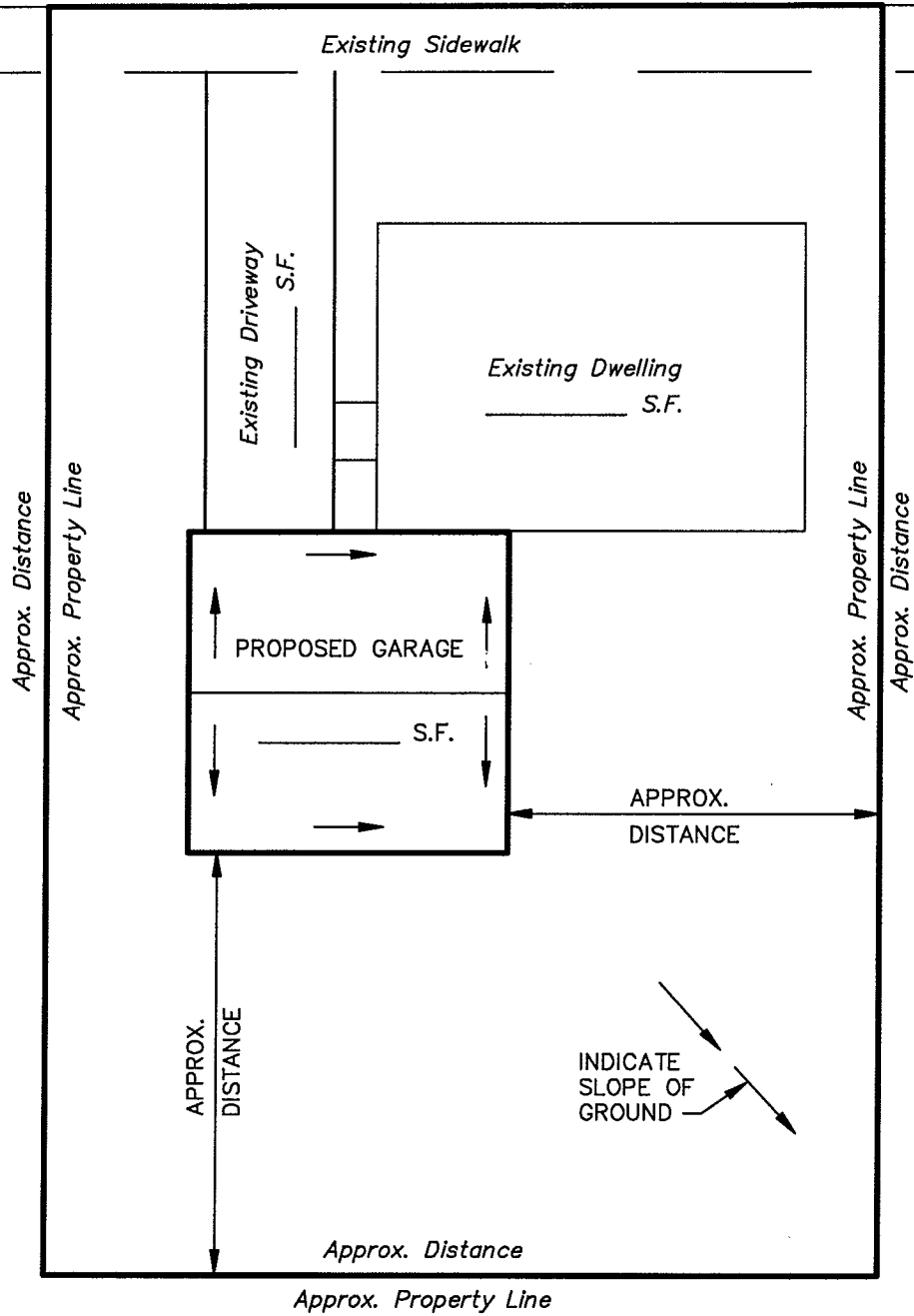
1. Include property lines, existing and proposed buildings, structures, driveways, patios, sheds, etc. (refer to the attached sample sketch). Also include significant natural features (creeks, ponds, etc.) on or adjacent to the property.
2. Include dimensions of proposed features.

List of potential BMP's:

- Non-Structural BMP's per the Pennsylvania Stormwater Best Management Practices Manual.
- Pervious Pavement with Infiltration Bed.
- Infiltration Basin.
- Subsurface Infiltration Bed.
- Infiltration Trench.
- Rain Garden / Bioretention.
- Dry Well / Seepage Pit.
- Constructed Filter.
- Vegetated Swale.
- Vegetated Filter Strip.
- Infiltration Berm and Retentive Grading.
- Vegetated Roof.
- Runoff Capture and Reuse.
- Constructed Wetland.
- Wet Pond / Retention Basin.
- Dry Extended Detention Basin.
- Water Quality Filters and Hydrodynamic Devices.
- Riparian Buffer Restoration.
- Landscape Restoration.
- Soil Amendment and Restoration.
- Floodplain Restoration.
- Level Spreader.
- Special Detention Areas – Parking Lot, Rooftop.
- Manufactured Products.
- Methods and/or Facilities approved by the Municipal Engineer.

Z:\Municipal Projects\Act 167 Information\Jacobus\Sample Sketch Plan.Dwg

STREET NAME



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DETAIL
of
**STORMWATER MANAGEMENT ORDINANCE
SAMPLE SKETCH PLAN**



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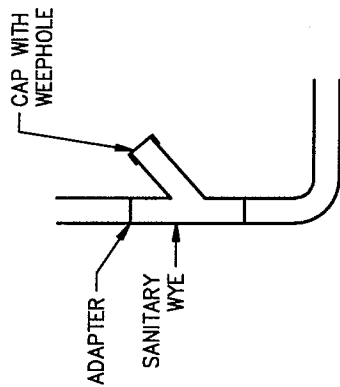
**ENGINEERS • PLANNERS
LANDSCAPE ARCHITECTS • SURVEYORS**

18 South George Street • York, PA 17401
(717) 846-4373 • Fax (717) 843-1568
Email: jrh@jrholley.com

JACOBUS BOROUGH

YORK CO., PA

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ALTERNATE

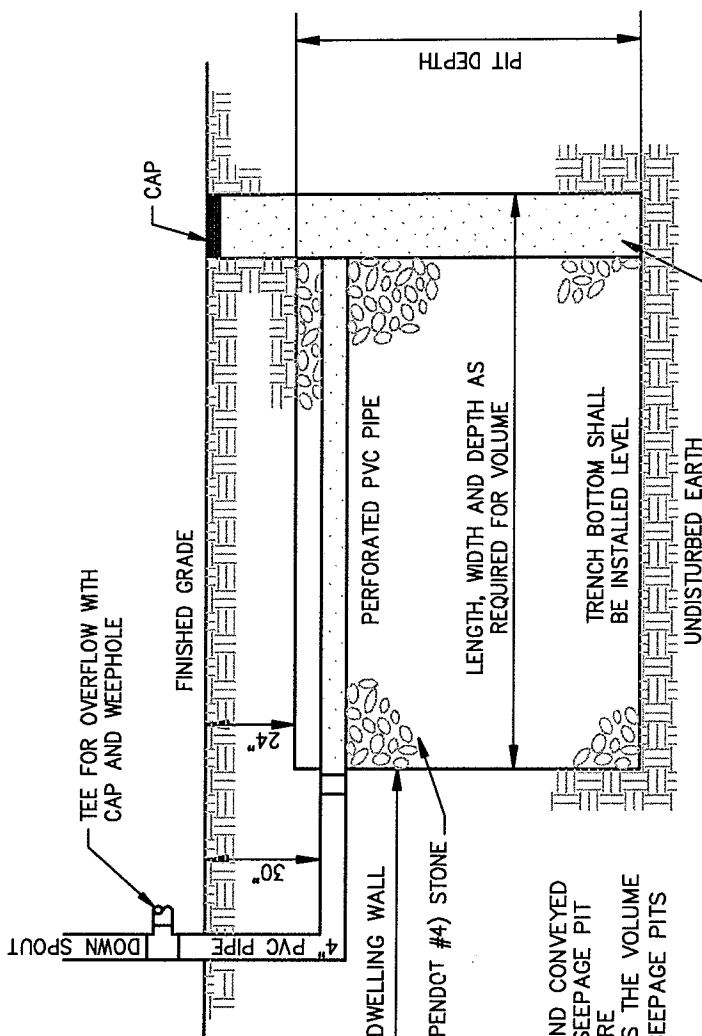
* TOP 12" OF STONE MAY BE $\frac{3}{4}$ " IN SIZE TO AID IN PIPE INSTALLATION

MIN. 15' FROM DWELLING WALL

*AASHTO #1 (PENDOT #4) STONE

NOTES:

1. ALL ROOF RUNOFF MUST BE COLLECTED AND CONVEYED TO THE ROOF DRAIN SEEPAGE PIT. THE SEEPAGE PIT LOCATION AND HORIZONTAL DIMENSIONS ARE APPROXIMATE AND CAN VARY AS LONG AS THE VOLUME REQUIREMENTS ARE MET (TWO OR MORE SEEPAGE PITS MAY BE UTILIZED).
2. SEEPAGE PIT(S) SHALL BE LINED WITH PEENDOT CLASS 1 GEOTEXTILE MATERIAL PER PUBLICATION 408, SECTION 212.3b. ALLOW 1 FOOT OVERLAP ACROSS BACKFILL AT TOP OF THE PIT(S) AND ALSO AN OVERLAP OF 1 FOOT AT THE END OF ROLLS.
3. AN INFILTRATION TEST MAY BE REQUIRED BY THE MUNICIPAL DESIGNER/ENGINEER.



8" OR LARGER PERFORATED CLEAN OUT PIPE TO BOTTOM OF PIT

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DETAIL
OF

TYPICAL ROOF DRAIN SEEPAGE PIT

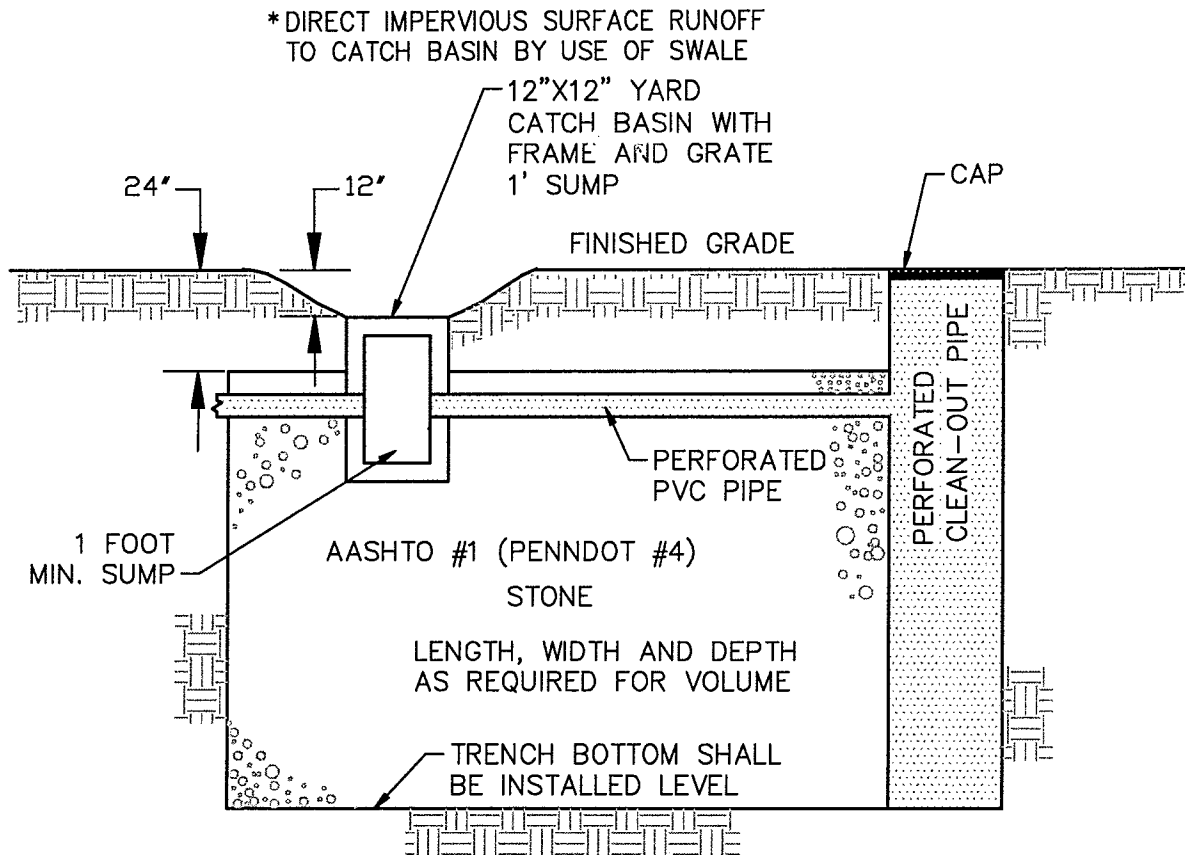


James R. Holley
& Associates, Inc.

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18 South George Street • York, PA 17401
(717) 846-4373 • Fax (717) 843-1568
Email: jrh@holley.com

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TRENCH SHALL BE LINED WITH PADOT CLASS 1 GEOTEXTILE MATERIAL PER PUBLICATION 408, SECTION 212.3b. ALLOW 1' OVERLAP ACROSS BACKFILL AT TOP OF TRENCH AND ALSO AN OVERLAP OF 1' AT END OF ROLLS.

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DETAIL
OF
SEEPAGE PIT WITH INLET



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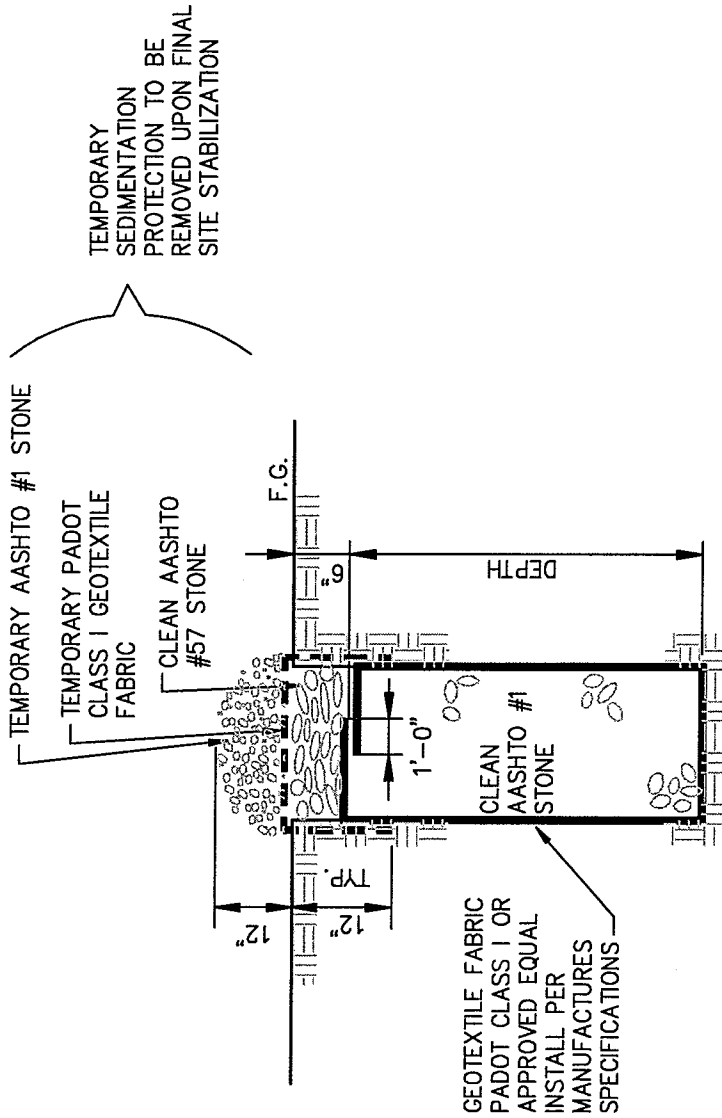
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LANDSCAPE ARCHITECTS • SURVEYORS**

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Email: jrh@jrholley.com

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NOTES:

1. LENGTH, WIDTH AND DEPTH AS REQUIRED FOR VOLUME.
2. DIRECT IMPERVIOUS SURFACE RUNOFF TO SEEPAGE TRENCH.

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DETAIL OF TYPICAL SECTION SEEPAGE TRENCH				J-R James R. Holley & Associates, Inc. ENGINEERS • PLANNERS LANDSCAPE ARCHITECTS • SURVEYORS 18 South George Street ▲ York, PA 17401 (717) 846-4373 ▲ Fax (717) 843-1588 Email: jrh@holley.com	
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